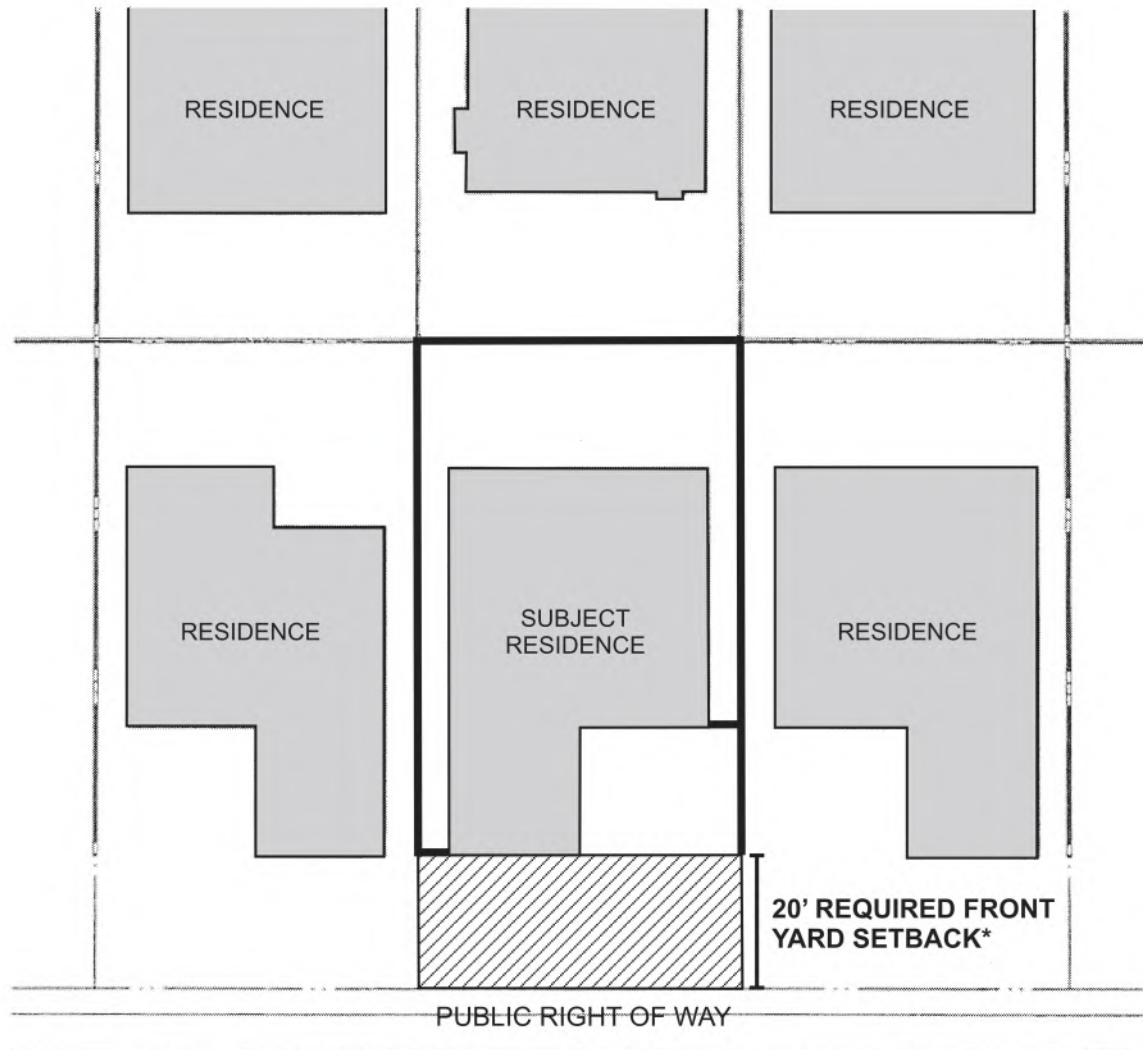


APPROVAL PROCEDURE FOR RESIDENTIAL WALLS/FENCES

**SAMPLE PLOT PLAN/HEIGHT RESTRICTIONS**



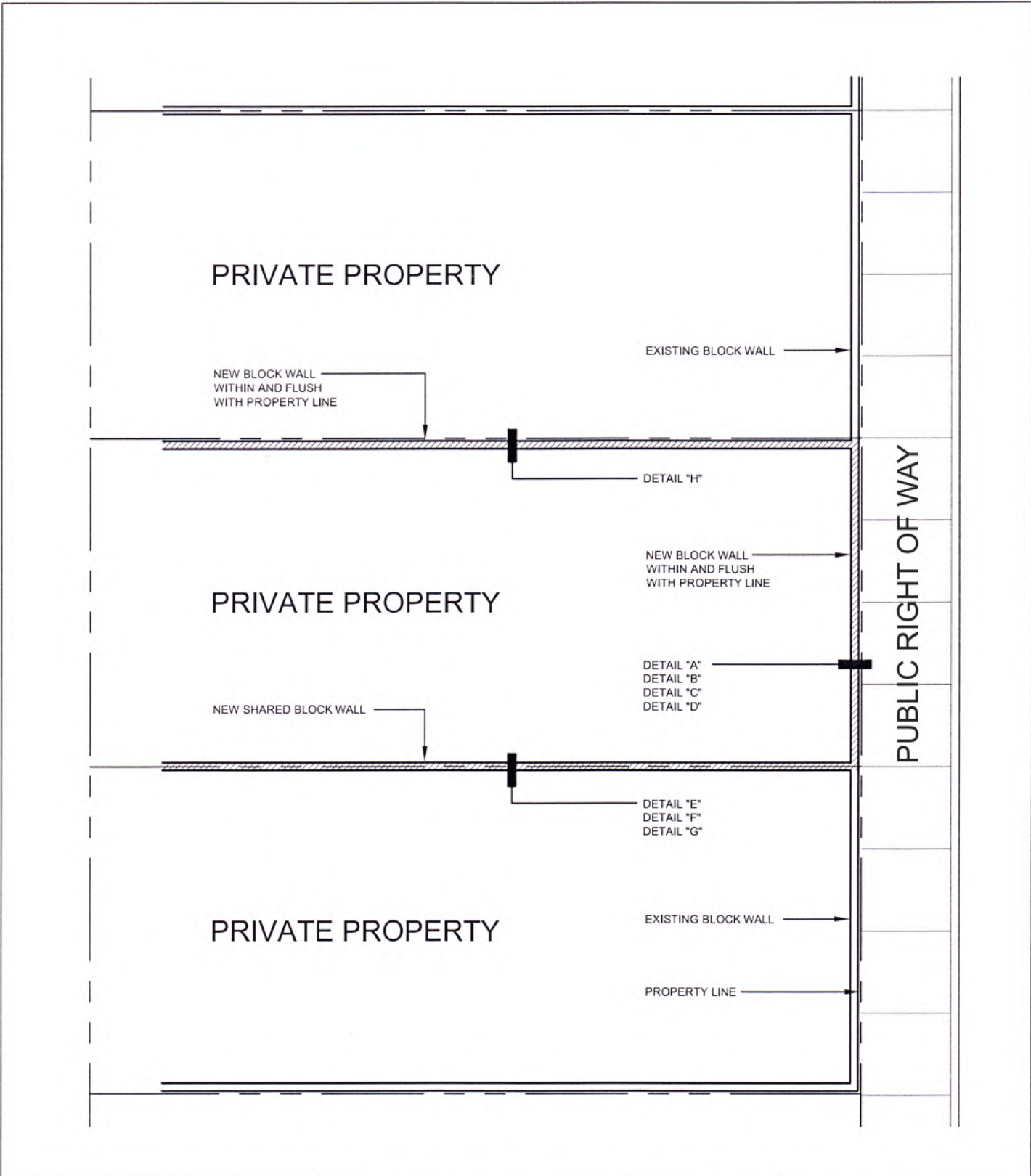
**LEGEND: HEIGHT RESTRICTIONS**

 = 42" MAXIMUM WALL/FENCE HEIGHT ALLOWED IN THIS AREA

 = 7' - 6" MAXIMUM WALL/FENCE HEIGHT ALLOWED

**NOTE:** FENCING TALLER THAN 6'-0" REQUIRES A REGISTERED DESIGN PROFESSIONAL.  
FENCING TALLER THAN 7'-6" REQUIRES A CONDITIONAL USE PERMIT (CUP).

**\*PROPERTY OWNERS MUST VERIFY THE LOCATION OF THEIR PROPERTY LINES. NO STRUCTURES, INCLUDING FENCES, WALLS, OR RETAINING WALLS, WILL BE PERMITTED IN THE PUBLIC RIGHT OF WAY.**

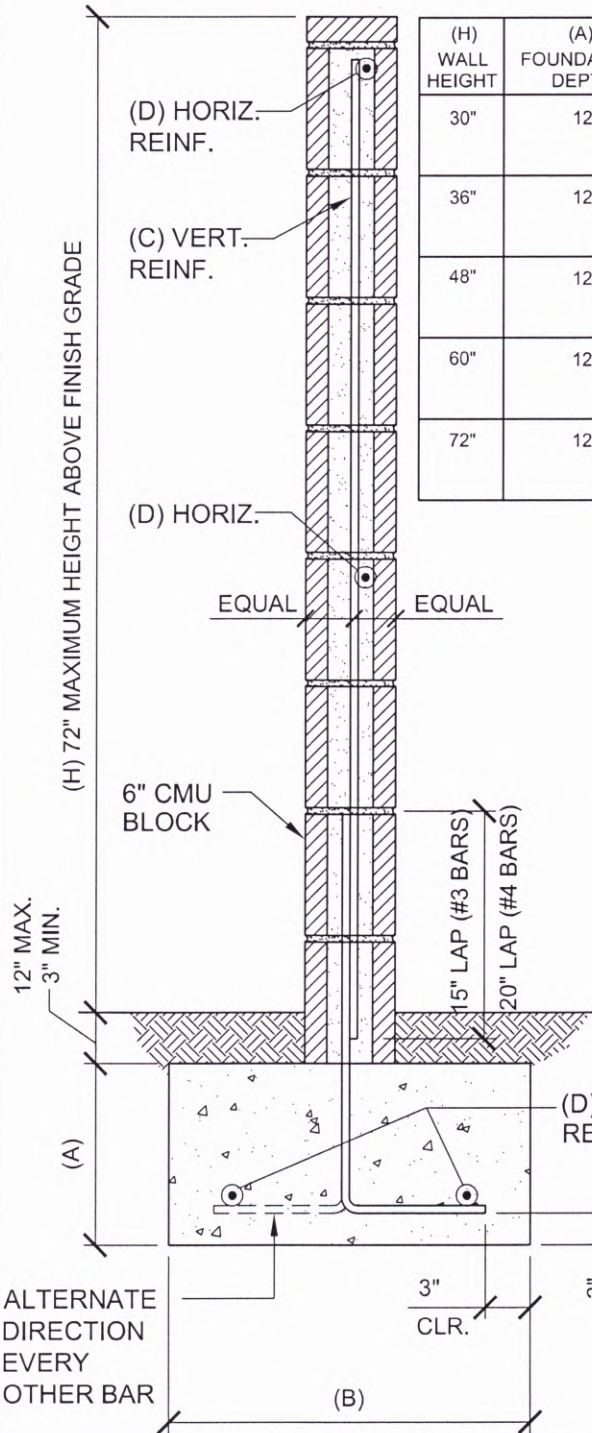


City of Lakewood Standard Wall Details, Key Plan

NO SCALE

CITY OF LAKEWOOD  
 BUILDING AND SAFETY DIVISION  
 5050 CLARK AVENUE  
 LAKEWOOD, CA 90712  
 562-866-9771 x2350

(PROPERTY LINE)  $\perp$   
 SUBJECT PROPERTY 1  $\odot$  SUBJECT PROPERTY 2



(H) WALL HEIGHT	(A) FOUNDATION DEPTH	(B) FOUNDATION WIDTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
30"	12"	14"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
36"	12"	14"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
48"	12"	20"	#3 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
60"	12"	24"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
72"	12"	27"	#4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL 3#4 CONTINUOUS AT FOUNDATION

SPECIFICATIONS:

MASONRY BLOCK: Conforming to ASTM C90.  
 CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.  
 REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.  
 GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.  
 ANCHORS & TIES: Coppercoated or zinc-coated steel.

NOTES:

- Foundation must be poured against undisturbed soil.
- All cells containing reinforcing steel shall be solid grouted.
- Foundations shall not extend above finish grade.
- Provide alternate bends in vertical reinforcing.
- Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
- Neatly strike and clean off all joints in the face of walls which are not to be plastered.
- Chipped, warped or otherwise defective masonry units shall not be used in finish work.
- Provide "cleanouts" for grout pours > 48" high.
- For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
- Updated in January 2009 Pursuant to the 2008 Los Angeles County Building Code.

The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval

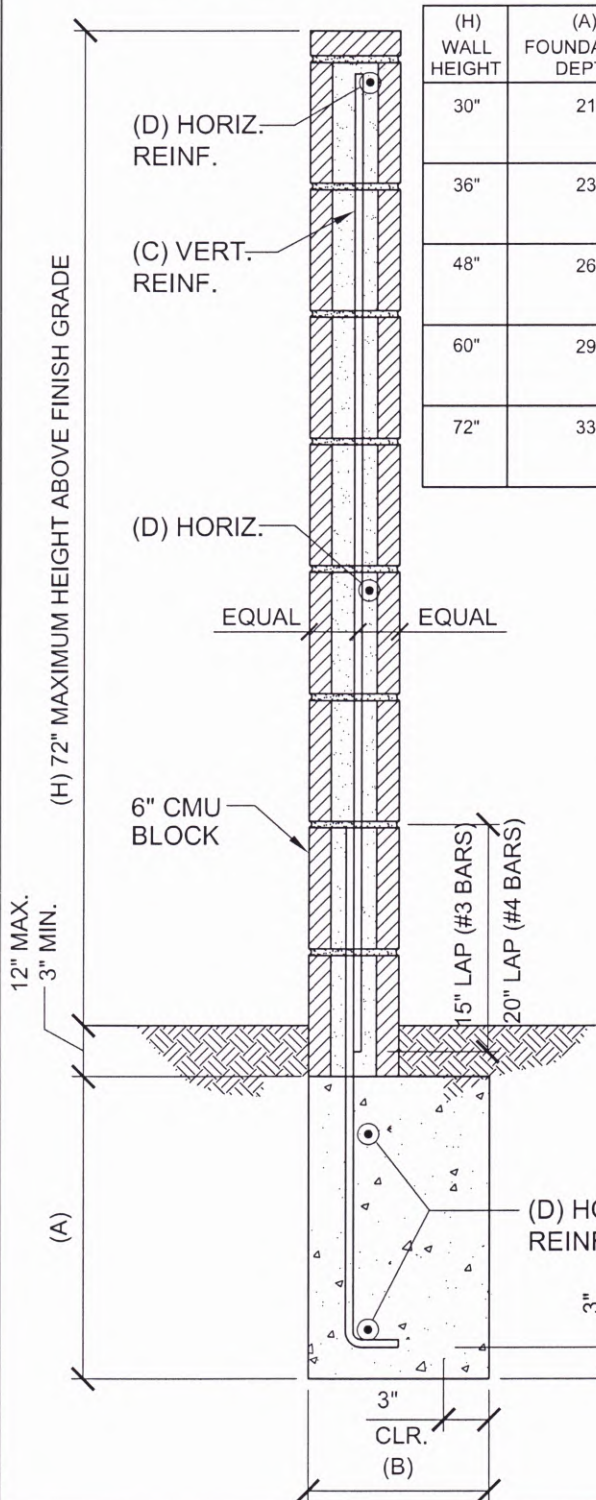
This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Lakewood Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

City of Lakewood Standard Wall Detail "G"  
 Non-Retaining, Free Standing Condition, Between Two Private Properties  
 T-Footing, 30" to 72" Above Grade

SCALE: 1" = 1'-0"

CITY OF LAKEWOOD  
 BUILDING AND SAFETY DIVISION  
 5050 CLARK AVENUE  
 LAKEWOOD, CA 90712  
 562-866-9771 x2350

(PROPERTY LINE) R  
 SUBJECT PROPERTY 1      SUBJECT PROPERTY 2



(H) WALL HEIGHT	(A) FOUNDATION DEPTH	(B) FOUNDATION WIDTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
30"	21"	12"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #4 CONT. TOP & BOT. AT FOUNDATION
36"	23"	12"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #4 CONT. TOP & BOT. AT FOUNDATION
48"	26"	12"	#3 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
60"	29"	12"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
72"	33"	12"	#4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION

**SPECIFICATIONS:**

MASONRY BLOCK: Conforming to ASTM C90.  
 CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.  
 REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.  
 GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.  
 ANCHORS & TIES: Coppercoated or zinc-coated steel.

**NOTES:**

- Foundation must be poured against undisturbed soil.
- All cells containing reinforcing steel shall be solid grouted.
- Foundations shall not extend above finish grade.
- Provide alternate bends in vertical reinforcing.
- Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
- Neatly strike and clean off all joints in the face of walls which are not to be plastered.
- Chipped, warped or otherwise defective masonry units shall not be used in finish work.
- Provide "cleanouts" for grout pours > 48" high.
- For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
- Updated in January 2009 Pursuant to the 2008 Los Angeles County Building Code.

The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval

This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Lakewood Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

City of Lakewood Standard Wall Detail "H"  
 Non-Retaining, Free Standing Condition, Between Two Private Properties  
 I-Footing, 30" to 72" Above Grade

SCALE: 1" = 1'-0"

CITY OF LAKEWOOD  
 BUILDING AND SAFETY DIVISION  
 5050 CLARK AVENUE  
 LAKEWOOD, CA 90712  
 562-866-9771 x2350



**APPROVAL PROCEDURE FOR RESIDENTIAL WALLS / FENCES**

**PLEASE TYPE OR PRINT**

Name of Homeowner: \_\_\_\_\_

Address of Job Site: \_\_\_\_\_

Telephone Number: (    ) \_\_\_\_\_

Name of Contractor: \_\_\_\_\_

Address of Contractor: \_\_\_\_\_

Telephone Number: (    ) \_\_\_\_\_

State of California Contractors License Number: \_\_\_\_\_ License Class: \_\_\_\_\_

Type of Fence or Wall: Wood \_\_\_\_\_ Masonry Block \_\_\_\_\_ Wrought Iron \_\_\_\_\_ Vinyl \_\_\_\_\_

Fence or Wall Height: Front Yard: \_\_\_\_\_ Rear Yard: \_\_\_\_\_ Side Yard: \_\_\_\_\_

Nature of Work (check one): Installation \_\_\_\_\_ Repair \_\_\_\_\_ Removal \_\_\_\_\_

The homeowner agrees that all work will be done in accordance with the City of Lakewood Municipal Code, all other applicable code provisions and consistent with the approved plans on which the permit was issued. A violation of the statements and requirements of the Municipal Code, including the failure to obtain a wall/fence permit prior to the construction of the wall/fence, may constitute an infraction pursuant to Section 1200 of the City of Lakewood Municipal Code.

\*Homeowner's Signature \_\_\_\_\_ Date \_\_\_\_\_

Contractor's Signature \_\_\_\_\_ Date \_\_\_\_\_

**\*Application must be signed by the homeowner prior to submittal to the City of Lakewood.**



**COMMON PROPERTY LINE AGREEMENT  
SIGNATURE OF AUTHORIZATION(S)**

This agreement, by the following property owners, gives permission to construct a wall on or over the common property line without restrictions.

Address of Job Site: \_\_\_\_\_

Homeowner's Signature: \_\_\_\_\_ Print Name: \_\_\_\_\_

Adjacent Property # 1 Address: \_\_\_\_\_

Homeowner's Signature: \_\_\_\_\_ Print Name: \_\_\_\_\_

Adjacent Property # 2 Address: \_\_\_\_\_

Homeowner's Signature: \_\_\_\_\_ Print Name: \_\_\_\_\_

Adjacent Property # 3 Address: \_\_\_\_\_

Homeowner's Signature: \_\_\_\_\_ Print Name: \_\_\_\_\_

